



USAF Built Infrastructure Inventory and Assessments Manual

Appendix for Interior Finishes (C30)

July 2017

This document includes information that shall not be disclosed outside the Government and shall not be duplicated, used or disclosed-in whole or in part-for any other purpose than the United States Air Force Built Infrastructure Assessment Program.

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I. Overview

This manual covers the inventory and assessment process for the building “Interior Finishes Systems (C30)” system and components. Please see the SMS Playbook for additional information including:

- BUILDER™ Sustainment Management System Concepts
- Overview of ASTM E 1557 UNIFORMAT II Standard Classification for BUILDER™
- BUILDER™ Inventory Overview
- BUILDER™ Assessment Overview
- BUILDER™ Remote Entry Database (BRED)
- Working with Web-Based BUILDER™
- Quality Assurance
- Site Visit Preparation and Execution
- Site Visit Safety

A. C30 Interior Finishes System Description

1. UNIFORMAT II definition

- The interior finishes provide required durable finishes for interior construction materials to support the interior space use and occupancy. Additionally, C3030 Ceiling Finishes allow the spaces to be enclosed, where required, for security and/or interior climate control as needed by the users:

2. Major components

- Wall Finishes (C3010): Finishes for interior wall/partitions to meet the intended space use and provide durability.
- Floor Finishes (C3020): Finishes for interior floor substrate to meet the intended space use and provide durability.
- Ceiling Finishes (C3030): Finishes for interior ceilings to meet the interior space use and provide climate control, security and/or durability.

3. Lifecycle characteristics

- The life cycle for Interior Finishes varies based on material type/quality, amount of use and care over the life cycle. Typically finish materials are short-lived components and the life cycle is based on the manufacturers’ standard life of the product ranging from just a few years to 25 years.

II. Inventory

A. General C30 Inventory Guidance

This section presents common UNIFORMAT II C30 Interior Finishes inventory Component Sections found across USAF installations as a guide for entering into the BUILDER™ SMS or BRED™ software. Inventory items are arranged by BUILDER™ SMS system with Material Category, Component Subtype, Quantity and Inventory Notes. Each building’s full or partial inventory can be captured in the field using the Inventory/Assessment Data Collection Sheet(s) included in Section V and in the AFCEC BUILDER™ SharePoint Site Documents Library.

NOTE: Currently, there are no minimum components inventoried and assessed for BUILDER™ SMS inventory for C30 for the USAF except for Dormitories and Military Family Housing. Bases may elect to inventory and assess interior finish components. Inventory and assessment is required by the current AFCAMP Playbook as project support documentation for consideration in the project prioritization process.

Component Subtypes General, Other, and Unknown require a Section Name to further describe the Component Sections.

It is critical to confirm the year installed (default from the Real Property Assets Database (RPAD)), or to estimate the year installed. BUILDER™ SMS uses the Install Date, life cycle degradation curves and assessment observations to establish Condition Index (CI) for each Component Section. If the assessor suspects the RPAD default date is not accurate or an addition or renovation has taken place, check the RPAD record for year renovated or check local as-built or renovation drawings to help determine the year installed. Estimated Install Dates decrease the Expected Service Life significantly.

If this is an initial assessment and no interior finishes inventory has previously been entered into BUILDER™ SMS, an inventory is required. Interior finishes components inventoried for USAF buildings are usually visible. When interior finishes components are not visible or accessible, as-built drawings should be used to identify and quantify the interior finishes components. If as-built drawings are not available, the assessor may use experience to make an assumption for the interior finishes types and quantities based on similar construction, consultation with local staff and other resources such as www.inspectapedia.com.

The remainder of this section provides photo examples of the most common USAF interior finishes inventory items categorized by major components and accompanied with the appropriate Material Category, Component Subtype and Quantity from the BRED™ drop down menus. This information is supplemented with general and photo specific inventory hints as a guide for data entry by the assessor.

General Interior Finishes C30 Inventory Hints

- Due to some overlap in BUILDER™ SMS, interior partitions (walls) are captured under C3010 Wall Finishes.
- Clarify inventory with an Inventory Comment when the component Section Name is insufficient to describe the component.

B. Inventory C3010 Interior Wall Finishes Component Sections

Interior finishes should be inventoried concurrently as you progress through the building. It is recommended to work from the floor up, or ceiling down, and proceed to the next room or area after all wall, floor and ceiling interior finishes have been completed in one area.

1. Material Category: C301006 Acoustical Panels
Adhered to Walls

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Most commonly found in assembly areas such as chapels, auditoriums, etc.
- Sometimes found in mechanical rooms for sound proofing
- Section Name required



2. Material Category: C301005 Wall Coverings

Component Type: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Section Name: Wall Covering-Cloth
- Section Name required



3. Material Category: C301003 Gypsum Wallboard
Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes: N/A

- Drywall picture before paint
- Section Name required



4. Material Category: C301003 Gypsum Wallboard
Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Prefinished – drywall joints are exposed and not taped and floated
- Normally coated with vinyl material for administrative areas
- Section Name: Prefinished Gypsum Wallboard
- Section Name required



5. Material Category: C301090 Other Wall Finishes

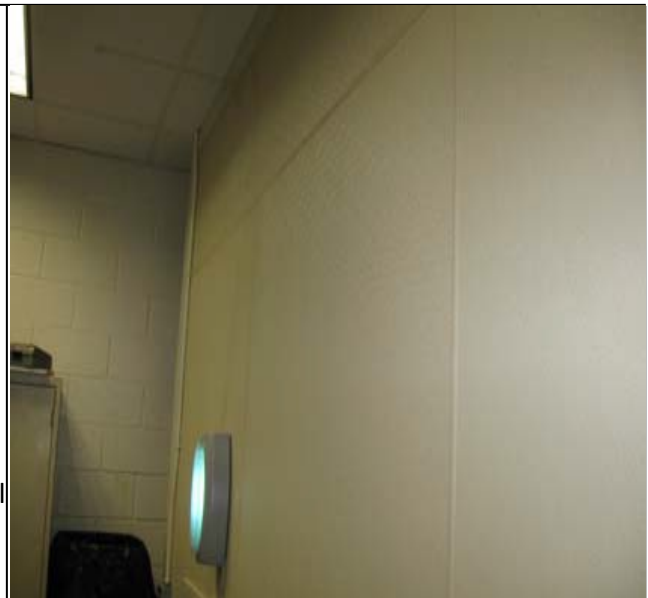
Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes/No

Inventory Notes:

- Fiberglass Reinforced Plastic
- May be referred to as “FRP”
- Commonly found in food service areas
- RFP will typically have protruding seam covers and is washable
- Section Name: Fiberglass Reinforced Plastic Wall Finish
- Section Name required



6. Material Category: C301090 Other Wall Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Formica or other like materials
- Section Name: Simulated Wood – Vinyl/Plastic
- Section Name required



7. Material Category: C301005 Wall Covering

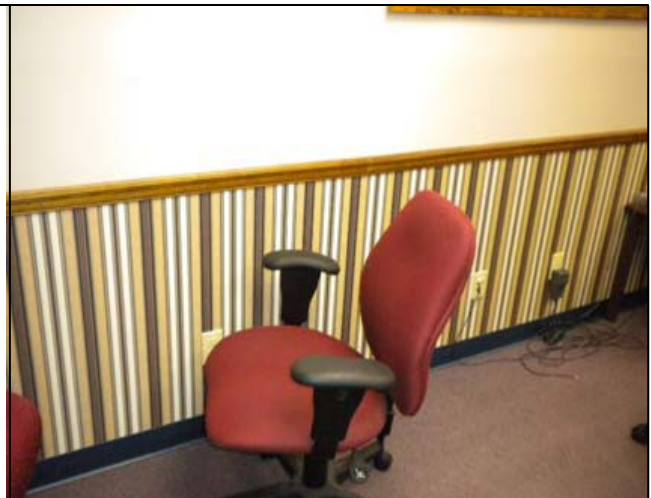
Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Commonly found as a wainscot or in full wall application
- Section Name: Vinyl/Plastic Wainscot Wall Paper
- Section Name required



8. Material Category: C301004 Tile & Terrazzo
Wall Finishes

Component Subtype: Tile

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Commonly found in restrooms or kitchen areas



9. Material Category: C10 Interior Construction

Component Subtype: Masonry Clay Block

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- This picture represents an unpainted clay block structural wall
- Unpainted brick, concrete and masonry walls are not captured under C3010



10. Material Category: C10 Interior Construction

Component Subtype: Masonry Clay Brick

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Clay Brick may be encountered unfinished as well as painted
- Unpainted structural brick, concrete and masonry walls are not captured under C3010



11. Material Category: C10 Interior Construction

Component Subtype: Concrete Block

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- May be referred to as "CMU"
- Painted structural brick, concrete and masonry walls are not captured under C3010



12. Material Category: C10 Interior Construction

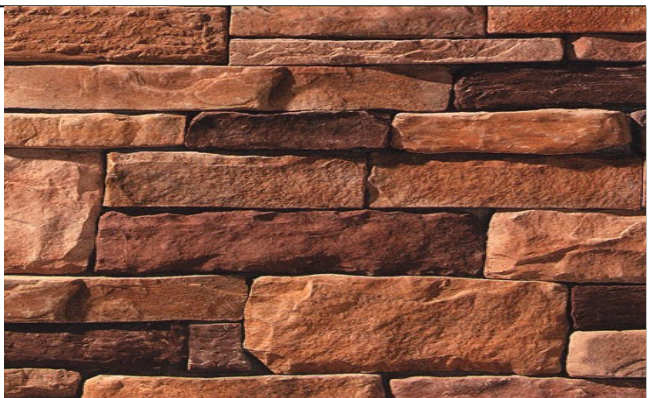
Component Subtype: Stone

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Unpainted brick, concrete and masonry walls are not captured under C3010



13. Material Category: C10 Interior Construction

Component Subtype: Wire Fabric

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Use for interior chain link security walls in warehouses
- Capture under C10 Interior Construction



14. Material Category: C301005 Wall Coverings

Component Subtype: Metal Panel

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:



15. Material Category: C301090 Other Wall Finishes

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes/No

Inventory Notes:

- Metal Panel Wall Finish
- Section Name required



16. Material Category: C301002 Plaster Wall Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Most common in 1940 – 1960 era buildings
- Section Name required



17. Material Category: C301090 Other Wall Finishes

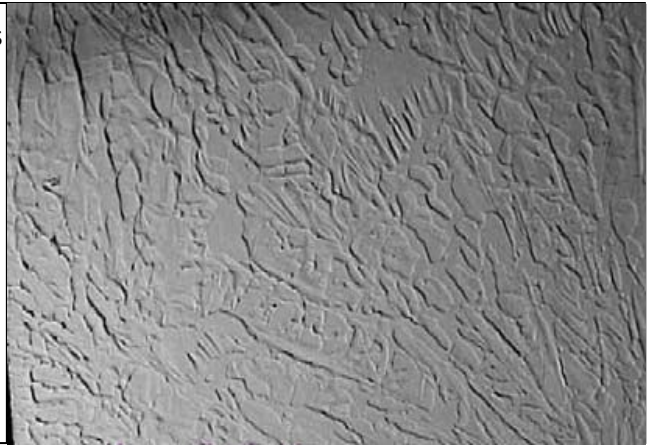
Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Newer materials (1970's +) are typically stucco or EIFS
- Section Name: Stucco Wall Finishes
- Section Name required



18. Material Category: C301090 Other Wall Finishes

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Includes interior wood like tongue and groove
- Section Name: Tongue/Groove Wood Wall Finish
- Section name required



19. Material Category: C301005 Wall Coverings

Component Subtype: Wood

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Section Name: Wood Paneling



20. Material Category: C301090 Other Wall Finishes

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Section Name: Plywood Wall Finish
- Section Name required



21. Material Category: C301005 Wall Coverings

Component Subtype: Wood

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Wainscot – Wood Paneling



C. Inventory C3020 Interior Floor Finishes Component Sections

1. Material Category: C302005 Carpeting

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Section Name required



2. Material Category: C302005 Carpeting

Component Subtype: Carpet Tile

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Found in newer & renovated buildings



3. Material Category: C302001 Tile Floor Finishes

Component Subtype: CeramicTile

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:



4. Material Category: C302001 Tile Floor Finishes

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Often found in kitchens and MWR facilities
- Quarry Tile
- Section Name: Quarry Tile
- Section Name required



5. Material Category: C302090 Other Flooring & Floor Finishes

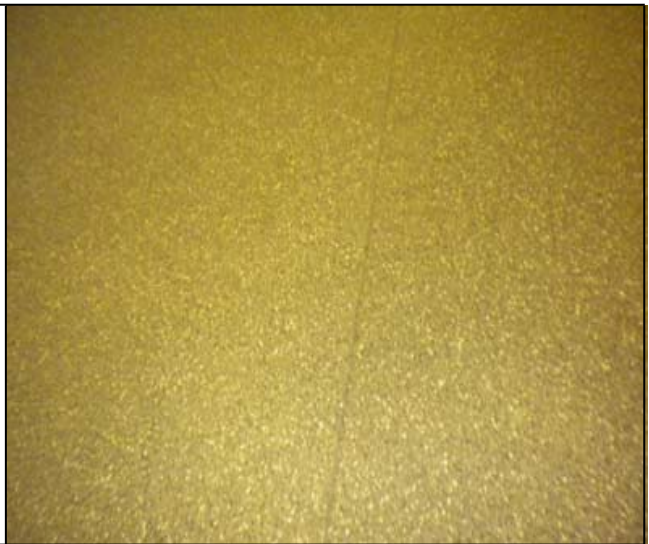
Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Linoleum
- Often found in kitchens and MWR facilities
- Will be installed in wide sheets 4' to 6'
- Section Name: Linoleum Flooring Finish
- Section Name required



6. Material Category: C302004 Resilient Floor Finishes

Component Subtype: Resilient Tile

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:



7. Material Category: C302001 tile floor Finishes

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Vinyl Tile commonly found in office areas and hallways, referred to as "VCT"
- Section Name: Vinyl Tile Floor Finish
- Section Name required



8. Material Category: C302090 Other Flooring & Floor Finishes

Component Subtype: Unknown

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes/No

Inventory Notes:

- Use for stained concrete and unidentified finish, enter Section Name to describe location
- Section Name required



9. Material Category: c302003 Wood Flooring

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Most commonly found in gyms
- Section Name required



10. Material Category: C302004 Resilient Floor Finishes

Component Subtype: Rubber Sheet

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Most commonly found in entries and stair landings.



D. Inventory C3030 Interior Ceiling Finishes Component Sections

1. Material Category: C303001 Acoustical Ceiling Tiles & Panels

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Adhered to hard ceiling above, often found in older buildings
- Section Name required



2. Material Category: C303005 Suspension Systems.

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: No

Inventory Notes:

- Section Name: Suspended Acoustical Tile
- Section Name required



3. Material Category: C303002 Gypsum Wallboard

Ceiling Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Found in restrooms and in wet areas like dining hall kitchens and showers
- Typically painted with a gloss finish
- Section Name required



4. Material Category: C303002 Gypsum Wallboard

Ceiling Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Adhered to hard ceiling above
- This texture pattern often found in older buildings
- Section Name reequred



5. Material Category: C303002 Gypsum Wallboard Ceiling Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Popcorn finish popular from 1950's – 1980's in residential and light commercial construction
- Section Name required



6. Material Category: C303003 Plaster Ceiling Finishes

Component Subtype: General

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:

- Section Name required



7. Material Category: C303090 Other Ceiling & Ceiling Finishes

Component Subtype: Exposed Concrete Finish

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes

Inventory Notes:



8. Material Category: C303005 Suspension Systems

Component Subtype: Other

Quantity: SF Year Built/Renewed: EST

Painted/Coated: Yes/No

Inventory Notes:

- Often used a decorative ceiling in larger building public areas
- Section Name: Metal Suspended Ceiling
- Section Name required



III. Assessment

A. General C30 Interior Finishes Assessment Guidance

Interior finish component sections are assessed using Direct Condition Rating (DCR). Usually interior finishes components will be visible and accessible. When component sections are not visible, no assessment is required and an Age-Based Rating is given by BUILDER™ SMS. In this case, BUILDER™ SMS will use the inventory year installed and life cycle degradation curves in the software to establish the Condition Index (CI).

When interior finishes component sections are visible and accessible, they are assessed. The on-site assessment is determined based on the assessor's observations compared to the Direct Condition Rating (DCR) Definitions chart for major components C3010, C3020 and C3030. The "Rating" reflects observed deterioration, impact on operability and repair requirements based on the assessor's professional judgment.

Under no circumstances should age be factored into a DCR or Distress Survey assessment. Ratings are based on condition, operability and/or survivability only. BUILDER™ SMS already factors in the age from the Install Date when BUILDER™ SMS calculates condition.

The following conditions or events can accelerate interior finishes deterioration and should be considered by the assessor:

- Surface damage due to personnel or equipment
- Neglected maintenance
- Improper construction or installation
- Moisture infiltration resulting from roof or pipe leaks
- Improper finish for ongoing activities

If observed, the assessor must consider the severity and density of these conditions to determine the DCR using the DCR chart below. The assessor must provide an Inspection Comment in cases of any **Amber+** or lower DCR or BUILDER™ SMS calculated Distress Survey Rating.

NOTE: Red highlighted text is provided as an example of a life cycle of typical components and should be adjusted as needed to represent other various components.

Direct Condition Rating (DCR) Definitions	
Rating	Observation
Green (+)	Fully Operational - Free of Known or Observable Defects Keep doing PM required to maintain warranty - no action required
Green	Fully Operational - Slight Deterioration or Minimal wear Keep doing PM - no action required
Green (-)	Fully Operational – Normal wear and/or serviceability defects Keep doing PM - need to start planning for rehabilitation

Amber (+)	Reduced Operation – Minor wear and/or serviceability defects Repairs could be accomplished and replacement planned within next eight to ten years (Investment of resources could extend life)
Amber	Reduced Operation – Moderate wear and/or serviceability defects Repairs could be accomplished and replacement planned within next six to seven years (Investment of resources could extend life)
Amber (-)	Reduced Operation – Significant wear and/or serviceability defects Repairs could be accomplished and replacement planned within next three to five years (Investment of resources could extend life)
Red (+)	Loss of Operation – Moderate wear and/or serviceability failure Repairs could be accomplished and replacement planned within next two years (Run to failure - further investment unwise)
Red	Loss of Operation – Significant wear and/or serviceability failure Repairs could be accomplished and replacement planned within the next year (Run to failure - further investment unwise)
Red (-)	Loss of Operation – Complete wear and/or serviceability failure Replacement needs to be planned immediately

BUILDER™ SMS provides the ability for the assessor to rate component painted or coated surfaces. Some interior components include manufacturer (or factory) finishes. These finishes tend to age consistent with the components. Other components have local or field applied paints or coatings. The DCR Definitions- Coatings chart below should be used by the assessor to rate non- manufacturer applied coatings. This chart should be used to rate coatings for:

- Interior walls and ceilings
- Interior window frames
- Interior doors
- Drywall finishes
- Concrete & CMU wall finishes
- Floor coatings

Match actual observation of the coating to the observations listed above and apply the corresponding rating.

Direct Condition Rating (DCR) Definitions - Coatings	
Rating	Observation
Green (+)	Perfect condition. No visible deterioration.
Green	Little visible deterioration.
Green (-)	Some visible deterioration.
Amber (+)	Minor visible deterioration.
Amber	Moderate visible deterioration.
Amber (-)	Major visible deterioration.
Red (+)	Significant visible deterioration.
Red	Severe visible deterioration.

Red (-)

Complete deterioration.

B. Assessment C3010 Wall Finishes

Below are assessment hint questions to help the assessor determine the most appropriate DCR and examples of common distresses.

C3010 Assessment Hint Questions

- What distresses or problems are observed?
- What is the quantity and severity of the distresses?
- Is the wall finish damaged and to what extent?
- Will repairs preserve or extend the remaining service life of the wall finish?

Based on above:

- Select a DCR from the chart.
- If assessment "Rating" is **Amber+** or below, enter an Inspection Comment to describe the reason or for any significant issue. Photographs documenting the defects must be taken and attached to the assessment.

Examples of typical wall finish distresses or conditions include:

1. Typical Distress: Damaged	2. Typical Distress: Deterioration
	
3. Typical Distress: Cracked Ceramic Wall Tile	4. Typical Distress: Termite Damage w/Live Insect
	

C. Assessment C3020 Floor Finishes

Below are assessment hint questions to help the assessor determine the most appropriate DCR and examples of common distresses.

C3020 Assessment Hint Questions

- What distresses or problems are observed?
- What is the quantity and severity of the distresses?
- Is the floor finish damaged and to what extent?
- Will repairs preserve or extend the remaining service life of the floor finish?

Based on above:

- Select a DCR from the chart.
- If assessment "Rating" is **Amber +** or below, enter an Inspection comment to describe the reason or for any significant issue. Photographs documenting the defects must be taken and attached to the assessment.

Examples of typical floor finish distresses or conditions include:

1. Typical Distress: Carpet Tear	2. Typical Distress: Stained/Dirty Tile
	
3. Typical Distress: Stained/Dirty Carpet	4. Typical Distress: Crumbling Vinyl Composition Tile
	

D. Assessment C3030 Ceiling Finishes

Below are assessment hint questions to help the assessor determine the most appropriate DCR and examples of common distresses.





C3030 Assessment Hint Questions

- What distresses or problems are observed?
- What is the quantity and severity of the distresses?
- Is the ceiling finish damaged and to what extent?
- Will repairs preserve or extend the remaining service life of the ceiling finish?

Based on above:

- Select a DCR from the chart.
- If assessment "Rating" is **Amber +** or below, enter an Inspection Comment to describe the reason or for any significant issue. Photographs documenting the defects must be taken and attached to the assessment.

Examples of typical ceiling finish distresses or conditions include:

1. Typical Distress: Moisture Contaminated from Roof or Pipe Leak	2. Typical Distress: Damaged Ceiling Tiles
	
3. Typical Distress: Blistering	4. Typical Distress: Ceiling Tile Damaged from Leak
	

IV. Inventory and Assessment Rules of Thumb

A. Assessor Qualifications

- The architectural/structural assessor should have a combination of 8+ years of general building construction, facilities maintenance and planning/estimating experience related to building foundations, structure, enclosure and interior construction or be equivalent to a Journeyman, V Level Technician, Architect or Civil Engineer. The assessor should have a working knowledge of the ASTM E 1557 Standard Classification for Building Elements UNIFORMAT II and a basic understanding of other building systems such as HVAC, Plumbing, Fire Protection and Electrical. The assessor should be able to identify common building materials, techniques and structural/architectural system types/elements, be proficient at reading drawings and engineering reports and have experience identifying common problems related to architectural/structural systems. The lead architectural/structural assessor may be supported by less experienced staff during the inventory and assessment.

B. Year Installed

- In some cases interior finishes sections may be replaced as an individual repair or partial replacement. These areas would have a different age. The RPAD construction and renovation dates should be confirmed. If they are not appropriate, the interior finishes age must be estimated. The building occupants or other facilities staff may be able to provide some information.
- If construction drawings or as-builts are available, look for date published to assist with determining age of materials.
- Additions, new wings or major renovations likely require identifying a separate interior finishes sections with a different age.
- In the case of interior finishes, the assessor must use judgment in sectioning interior finishes. In large buildings with many interior finishes, these components should be sectioned in the manner they are generally managed. If there are interior finishes, a separate section for a single new interior finish is not necessary. However, if there are two major types or ages of interior finishes, then separate sectioning is a good idea.

C. Inventory/Assessment

- Interior partitions are captured in C3010 Wall Finishes and not in C1010 Partitions.
- Unpainted CMU, brick and wood walls are not captured in C30 if they do not have a finish.
- Cubicle partitions are Furnishings and are not captured in C30.
- Exposed metal decking supporting concrete for the floor above is not considered ceiling finish for the floor below.

V. Inventory / Assessment Data Collection Sheet

The following data collection form is included as a recommendation and may also be found in the AFCEC BUILDER™ SharePoint Site Documents Library. Many assessors also use floor plans or a notebook. Use whatever collection method works best for the individual assessor.

Architectural Inventory Sheet

Building											Date:	
Assessor:	1FL	2FL	3FL	4FL	contact					Length x width	Date Built or Renewed	
Superstructure												
Exterior Ramp/Loading dock												
Foundation					SOG	STRIP	SPREAD	Pier (LF)				
Roof Construction					Metal	Wood	Other					
Stairs Metal					1/2 sets		Full sets					
Stairs Wood					1/2 sets		Full sets					
Stairs Concrete					1/2 sets		Full sets					
Exterior Walls												
Exterior Walls 2												
Exterior Ladder (LF)												
Exterior Windows												
Exterior Windows 2												
Exterior doors					Metal		Glass		Wood			
Exterior Other doors												
Interior Construction												
Partitions												
Partitions 2												
Partitions 3												
Interior Doors wood					Metal		Glass		Wood			
Interior Doors Other												
Interior Ladder (LF)												
Interior Stairs Metal					1/2 sets		Full sets					
Interior Stairs Wood					1/2 sets		Full sets					
Interior Stairs Concrete					1/2 sets		Full sets					
Interior Finishes												
Wall Finishes												
Drywall												
Ceramic tile												
Acoustical												
Plaster												
Other												
Floor Finishes												
Carpet												
Ceramic tile												
Epoxy												
Linoleum												
Wood												
Rubber												
VCT												
Other												
Ceiling Finishes												
Acoustical Suspended												
Acoustical Attached												
Drywall												

Architectural Inventory Sheet

Building											Date:	
	1FL	2FL	3FL	4FL	contact						Direct Rating	
Superstructure												
Exterior Ramp/Loading dock												
Foundation					SOG	STRIP	SPREAD	Pier (LF)		Age Base	Age Base	
Roof Construction					Metal	Wood	Other			Age Base	Age Base	
Stairs Metal					1/2 sets		Full sets					
Stairs Wood					1/2 sets		Full sets					
Stairs Concrete					1/2 sets		Full sets					
Exterior Walls												
Exterior Walls 2												
Exterior Ladder (LF)												
Exterior Windows												
Exterior Windows 2												
Exterior doors					Metal		Glass		Wood			
Exterior Other doors												
Interior Construction												
Partitions												
Partitions 2												
Partitions 3												
Interior Doors wood					Metal		Glass		Wood			
Interior Doors Other												
Interior Ladder (LF)												
Interior Stairs Metal					1/2 sets		Full sets					
Interior Stairs Wood					1/2 sets		Full sets					
Interior Stairs Concrete					1/2 sets		Full sets					
Interior Finishes												
Ceiling Finishes												
Acoustical Suspended												
Acoustical Attached												
Drywall												
Plaster												
Popcorn												
Concrete												
Other												
Floor Finishes												
Carpet												
Ceramic tile												
Epoxy												
Linoleum												
Wood												
Rubber												
VCT												
Other												
Wall finishes												
Drywall												
Ceramic tile												
Acoustical												
Plaster												
Other												